



District of Lakeland No. 521

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Box 27
Christopher Lake, SK
S0J 0N0

The District of Lakeland is seeking bidders to provide for a retaining wall and landscaping at 118 Jacobson Drive.

RFT # LL 22 - 04

Instructions

Bids must be received by 1:00 pm, Saskatchewan Time by Friday, July 29, 2022.

Your Bid must be submitted in a clearly marked sealed envelope with the company name, and the RFT number.

Proposals can be hand-delivered to the Administration Office located at 48 – Main Street West, Christopher Lake during regular office hours, or by mailing your bid to:

District of Lakeland
Box 27
Christopher Lake, SK S0J 0N0

Process

Request for tenders received by the District of Lakeland Administration office after 1:00 pm, Saskatchewan Time Friday, July 29, 2022, will not be considered.

Upon closing the District of Lakeland will review all documents for completeness and compliance with the general requirements identified within the RFT.

Background

The District of Lakeland is in the heart of lake county, approximately 40 km north of Saskatchewan's third-largest city, The City of Prince Albert. The District of Lakeland is home to some of Saskatchewan's most popular beaches along the shores of Emma and Christopher Lake. We are home to Anglin Lake, and McPhee Lake and are neighbours to the province's newest provincial park, Great Blue Heron Provincial Park, and the newest resort community, Resort Village of Elk Ridge. We are also neighbours to the Prince Albert National Park. We have a population of approximately 1200 people but are home to thousands more during our incredible summers.

Requirements

✓ Experience

It is important that the successful Bidder has experience in the industry and has demonstrated they have completed the same/ similar work within western Canada. The Bidder should be clearly established within the industry and have staff available to provide the services and complete the project on time.

✓ Qualifications

The successful must be able to meet and prove the following qualifications:

- Must have a valid business licence, or an exemption certificate from a designated officer, issued by the District of Lakeland to complete work within the corporate boundaries of the District of Lakeland, *OR* hold a current and valid Inter-municipal business licence issued by one of the inter-municipal partners allowing business to be undertaken within the District of Lakeland.
- Must be in good standing with the Saskatchewan Workers' Compensation Board (WCB).
- Must meet all legislated requirements for the scope of work to be undertaken. (i.e., Occupational Health and Safety).
- Have comprehensive General Liability Insurance coverage including Public Liability Insurance in a minimum amount of \$2,000,000.00.

Scope of Work

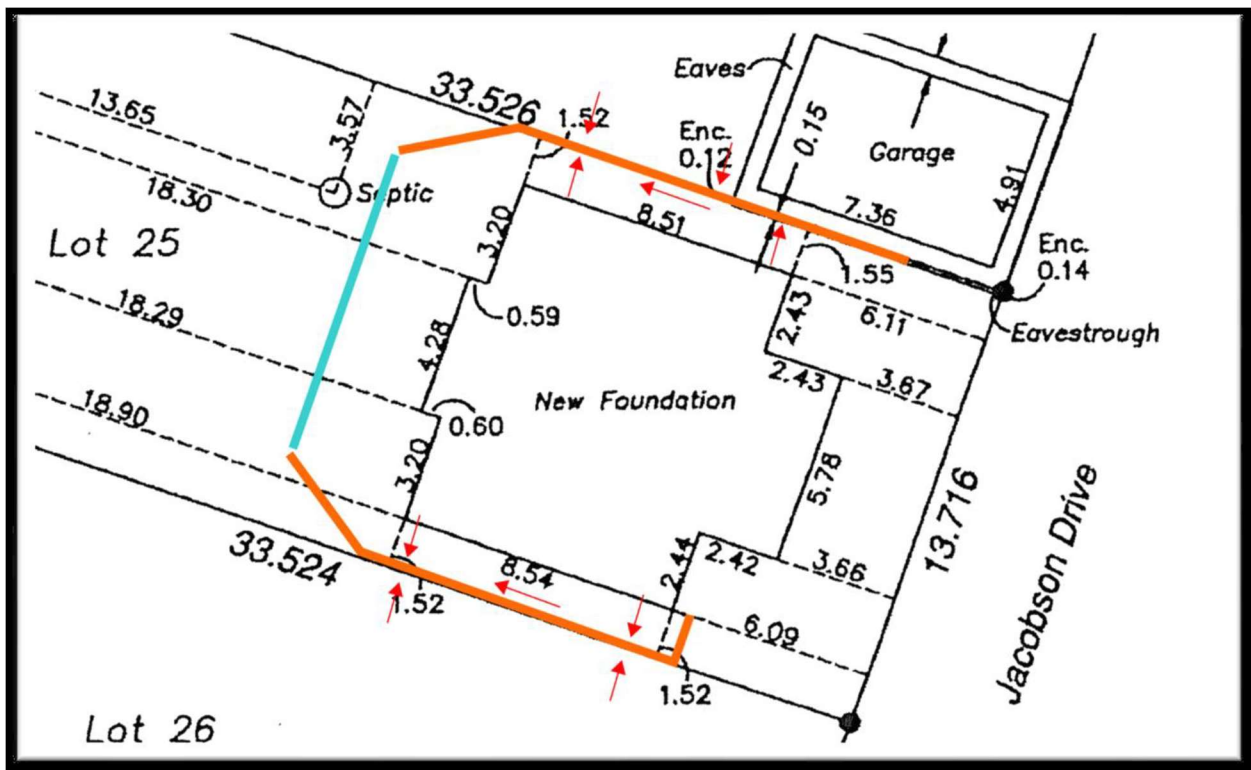
The District of Lakeland requesting a Request for Tenders (RFT) from a qualified business for landscaping work located at 118 Jacobson Drive so as to prevent any surface water runoff from being directed at or onto adjoining properties so as to cause erosion, damage, or other adverse conditions. The successful bidder shall complete work same/similar to the requirements contained within the RFT as recommended by the contracted Professional Engineer.

Existing slopes on site are considered extreme and, in many areas, surface runoff is directed onto neighbouring properties. These steep slopes can result in erosion and sloughing of material that could damage adjacent properties. During major rainfall events, the runoff being directed onto adjacent properties could also result in property damage.

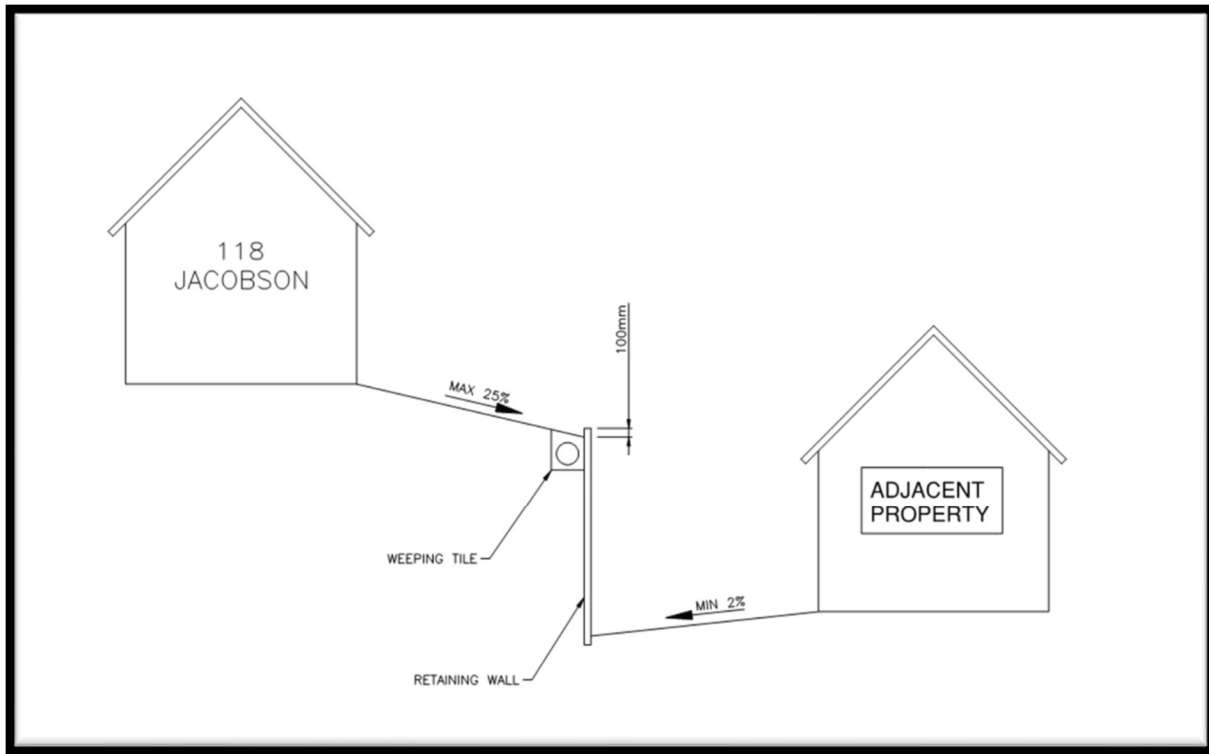
Typical drainage between properties would have both properties draining away from the building(s) to the property line. The property line acts as a joint-use drainage route. The runoff will always travel in the direction of the least resistance and in this case, it is onto

adjacent properties. It is recommended that measures be taken to minimize runoff water flowing from one property to another.

You will be required to complete the construction of retaining walls to lessen the slope and provide a runoff route for both properties to use. The retaining walls will also help to minimize erosion and transfer of sediment from one property to another. See the Figure below for proposed locations of retaining walls. Retaining walls shown in the orange area is a requirement to protect adjacent properties. Retaining walls shown in blue are optional but will protect against erosion on the lake side of the 118 Jacobson Drive property.



The retaining wall can act similarly to a curb and can be constructed in a way so that both properties can slope towards it and have runoff drain along it towards the lake. Drainage arrows showing proposed drainage between the properties are shown in red in the above Figure. A cross-section of the drainage concept between houses is shown in the Figure below. The retaining wall concept would be variable in height, but it is suggested that it be constructed like a curb with 100mm of retaining wall sitting higher than the finished grade on the 118 Jacobson Drive property, with a weeping tile that can collect water and direct towards the lake. The adjacent properties can then slope their property towards the base of the retaining wall. The ground adjacent to the wall can slope towards the lake.



Our RFT required the bidder to provide costs for;

1. All work related to retaining walls identified in Orange, including all material and labour, identifying applicable tax, fees, or additional cost.
2. All work related to retaining walls identified in Blue, if completed at the same time as point 1 above, including all material and labour, identifying applicable tax, fees, or additional cost.

Please note the cost of development permits be the responsibility of the District of Lakeland, however, the successful bidder shall be required to apply for and ensure permits are issued prior to work commencement.

Please identify within your bid;

- once work is awarded, identify the estimated time until work will commence and an estimated completion date.
- the name, title, and contact information of an authorized representative submitting a bid.

Inquiries

Inquiries, interpretations, and questions regarding this project can be directed to the District of Lakeland by email at office@lakeland521.ca ATTN: RFT LL 22 - 04

Terms and Conditions

The RFT, in being reviewed, shall be determined based on cost, training and quality assurance, ability to deliver service, and experience.

Prices quoted are to be net prices, quoted in Canadian Funds.

The District of Lakeland reserves the right to cancel all or part of this RFT.

Any proposal is not necessarily accepted.

The District of Lakeland's determination of all or part of any successful proposal shall be final.