



District of Lakeland #521

New Construction / Additions / Attached Garages

Development Permit Application

Fee **\$200.00**

Building Permit Application

Security Deposit **\$1500.00**

Fee **\$4.80/\$1000** value, minimum \$1080 for all Site-built homes, RTM, Modular Homes

Additional Fees

Full or Crawlspace Foundation Fees

<500sqft \$810

>500sqft \$900

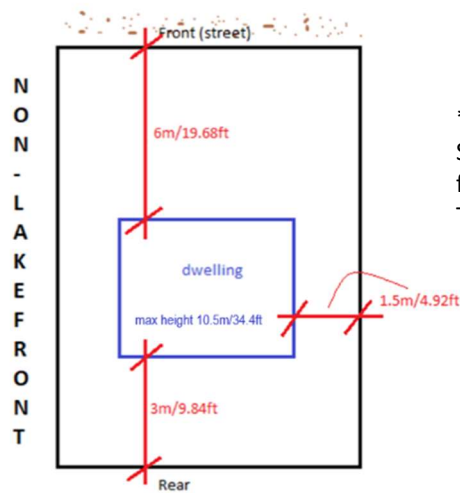
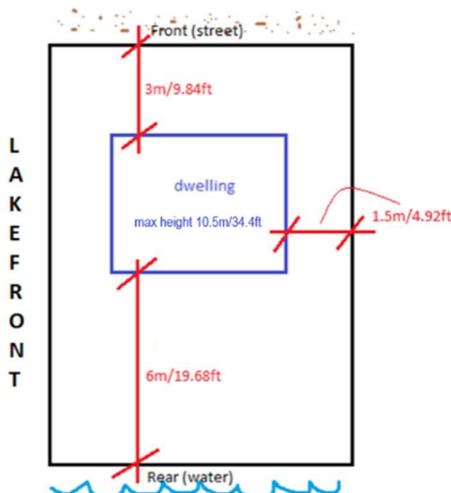
Simple/grade type foundation Fees

<500sqft \$648

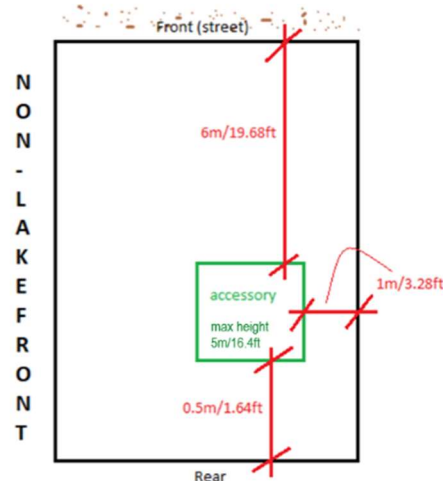
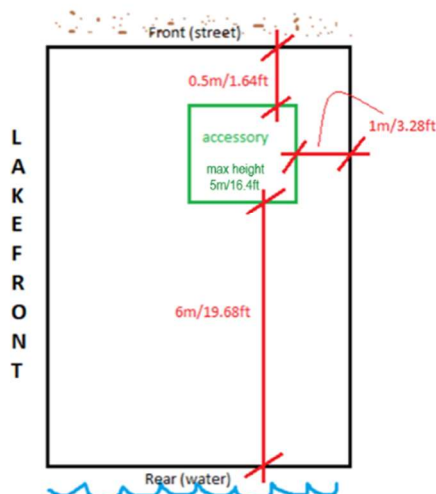
>500sqft \$810

Setbacks for primary and accessory buildings

Zoning Bylaw 17-2013; R1: High Density Residential and R2: Medium Density Residential



*For side setbacks, refer to Spatial Separation requirements for Fire Department Response Time: Over 10-minutes



Sequence of Permit Issuance

1. Ratepayer or General Contractor to submit the applications and supplementing documents. This can be dropped off at the office, mailed, or emailed to development@lakeland521.ca
 - a. At this time, the fees for the development permit & building deposit are required.
2. Once the fee for the development permit & building deposit is received, the Planning & Development department will review the application in depth.
 - a. We will communicate what/if other information is required to start your project.
 - b. The plans are sent to the Building Inspector for review to be sure that all Building & Energy Codes are met
3. When the Plan Examination Report is received back from the Building Inspector (lead time up to 10 days), the cost of the Building Permit will be determined.
 - a. Once the Building Permit fee is paid, the permit will be issued within 5 days for work to start on the foundation.
4. Once the foundation is in, a survey of the property which creates the Real Property Report is required to ensure that setbacks are in compliance.
 - a. Once the office receives a copy of the RPR, the Building Permit for framing to start will be issued.



Landscaping

The District's intention is to “**get back to nature**”.

Zoning Bylaw 17-2013 4.16(1)(a) states *Soft landscaping features shall comprise a minimum of 30% of the total area of the site*. The definition of soft landscaping is defined as *elements consisting of vegetation including trees, shrubs, hedges and grass, either existing native or proposed non-native species*, so basically anything that grows.

Understanding that the site may be damaged during a build, replanting of the site is expected once the build is done, and this will be a condition of the permit when issued

Why so many permit applications?

Any change to a property requires a Development Permit application. This could be something as simple as tree removal, or as in-depth as demolishing an existing dwelling to build a new one.

Dependent on what the change to the property is, a second (or third) permit may be required to communicate more details, such as Build, or Move, or Demo, which in turn triggers the change for SAMA reporting.



Development Permit: “I’m doing something”
then,

Building Permit “I’m building a cabin”

Demolition Permit “I’m demolishing a structure”

Moving Permit “I’m moving a cabin off the property” or “I’m moving an RTM on to the property”

Demolition and Moving Permit applications are available on our website



DISTRICT OF LAKELAND NO.521 APPLICATION NO. _____ 20____

Development Permit Application

Date _____ 20____

Land Description: Civic Address _____ Beach _____ or
_____ Quarter Section _____, Twp. _____, Rge. _____, M _____

Applicant Name: _____

Mailing Address: _____

Contact Information: Home () _____ Work () _____ Cell () _____
Fax () _____ Email _____

Property Owner: _____
(If different than Applicant)

As per the National Building Code, screw piles must be stamped by an Engineer. The District is requesting the Field Report for all screw piles be submitted with the Real Property Report. Failure to submit either of these documents will result in the office withholding issuance of the Building Permit.

Proposed Development: _____

(Attach Site Sketch)

Applicant's Signature: _____

Development Permit

Page ____ of ____

Decision Permitted Use – Approved - Date: _____ Denied – Date: _____
Discretionary use – Approved by Resolution No. _____
Subject to the following conditions/reasons: _____

This permit expires _____
one year from the _____
date of issuance _____

Note:

Approval of this application and issuance of a Development Permit does not absolve the applicant of obtaining other permits and approvals as may be required according to other municipal, Provincial and Federal government legislation.

*All developments shall be in compliance with the Zoning Bylaw for the District of Lakeland No.521

DEVELOPMENT OFFICER: _____



District of Lakeland #521

APPLICATION FOR BUILDING PERMIT

Section 1 - Applicant Information

I hereby make application to: ☐ Construct ☐ Reconstruct ☐ Alter- Project description _____
a structure according to the information below and to the plans and documents attached to this application

The estimated value of TOTAL project with material and labour (Statistics Canada Info) \$ _____

The estimated value of FOUNDATION ONLY (Statistics Canada Info) \$ _____

Name of Applicant: _____

Name of Property Owner: _____

Civic Address: _____ Subdivision/Beach _____

Phone # _____ E-mail _____

Land Description for Rural: _____ 1/4 Section _____ Township _____ Range _____ W _____ Meridian

Section 2 - Construction Information for a Building (Skip to Section 3 for Decks)

Intended use of Building or Structure _____

Building: Length _____ x Width _____ = Floor Area of: _____ sq. ft. /m Height _____ ft. /m

Garage Area: _____ sq. ft. /m Shed area: _____ sq. ft. /m

Type of Engineered Footing / Foundation Material for building: _____ Size: _____

Number of story's _____ Fire escapes: _____

Number of stairways: _____ Width of stairways: _____

Number of exits: _____ Width of exits: _____

Stud Material: _____ Spacing: _____

Exterior Wall Material: _____ Size: _____

Floor Joist Material: _____ Spacing _____

Girder Material: _____ Spacing _____

Rafter Material: _____ Spacing _____

Roof Material: _____ Size: _____

Section 3 - Construction Information for Decks

Select type of Deck: ☐ Attached Deck with no roof OR ☐ Attached Deck with covered roof

Note: An attached Deck with a covered roof requires engineered piles for adequate support

Size of Deck(s): Deck #1 _____ (Width) x _____ (Length) = _____ sq ft/m _____ (Height from grade)

Deck #2 _____ (Width) x _____ (Length) = _____ sq ft/m _____ (Height from grade)

Deck #3 _____ (Width) x _____ (Length) = _____ sq ft/m _____ (Height from grade)

Type of Foundation: (deck blocks/concrete piles/engineered screw piles/footings) _____

Support beams/joists: Material: _____ Joist size: _____ Joist spacing: _____

Top Deck Board Material: _____

I hereby agree to comply with the Building Bylaw of the local authority and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw of the local authority and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the local authority or its authorized representative. I understand that any inspections by an authorized representative of the local authority will be for construction progress assessment only and that the local authority reserves the right to require the applicant to provide certification at any time that all or any part of the building or structure is in accordance with this Bylaw.

Date _____

Signature of Owner / Agent _____

Print Name of Owner/Agent _____

Please be advised that although your application for a permit may comply with the municipality's regulations, there may be caveats registered against the title to your property which require stricter regulations for development. It is your responsibility to be aware of any encumbrances registered against the title of your property.



Builder Checklist: New Dwelling

Civic Address: _____

✓ PERMIT APPLICATION: Required for the Development Permit to be Issued	
Development Application	all fields required to be filled out
Building Application	all fields required to be filled out
Blueprints	floor plan, foundation plan, elevations
Height of structure	height is grade to peak: must be shown on drawings: max 10.5m
Site plan	R1 & R2 NON-lakefront dwelling setbacks: 6m front(street), 3m rear, 1.5m side** R1 & R2 lakefront dwelling setbacks: 3m front(street), 6m rear(lake), 1.5m side**
** If lot is outside the 10-minute fire response area, any side of the dwelling that is less than 2.4m to the property line must have a 45-minute fire resistance rating and no windows.	
Site coverage: structures	R1 maximum site coverage: 50% for all structures: dwelling, deck(s), shed(s), garage (R2: 40%)
Site coverage: landscaping	minimum 30% of site must be natural vegetation
Drainage Plan	*especially sloped properties may require engineered drawings
Septic tank specs	size; material; location must be shown on site plan; setback 3m from all property lines
Estimated cost of foundation	this breakout is required for Stats Canada
Engineer-approved Screw Pile design	
Authorization form	required so a contractor can speak on property owners' behalf
Contractor List rec'd	all contractors must be licensed with the District
Lakefront site consideration	allow reasonable access to the lake-side of the property for equipment (skid-steer, etc)
* Reminder to contact TSASK for all plumbing, gas, and electrical permits	
When the above is complete, the Development Permit will be issued to move forward with the foundation	
DEVELOPMENT PERMIT WILL BE ISSUED AT THIS TIME	
✓ ONCE FOUNDATION IS POURED AND/OR SCREW PILES INSTALLED: District requires the following	
Real Property Report	
Field Report w/Engineer Approval for Screw Piles	
When the above is received and all setbacks & requirements are met, the Building Permit will be issued to move forward with framing/build	
BUILDING PERMIT WILL BE ISSUED AT THIS TIME	
Building Permit expires 1 year from date of issuance	
✓ INSPECTIONS	
Generally, the following inspections are required by the District for a new dwelling:	
**Refer to the Plan Review specific to your project for the actual required inspections.	
Foundation	
Framing	
Vapour Barrier/Insulation	
Final	



DISTRICT OF LAKE LAND NO.521

Development Officer: (306) 982-2039
E-mail: development@lakeland521.ca
Website: lakeland521.ca

Box 27
Christopher Lake, SK.
S0J 0N0

Authorization Form

I, _____, the owner of the real property located at
Print Name

_____, within the District of Lakeland
Civic Address

hereby give authorization to _____ who's contact
Print Name of Individual

information is _____
Mailing Address *Phone Number*

To act on my behalf for the duration of the following project:

Describe work or project to be undertaken

OR

To act on my behalf for the time period from _____ to _____
Month/Date/Year *Month/Date/Year*

By providing this authorization I know and understand it does not limit or remove my legal responsibility I may have as the property owner. I further acknowledge that I can revoke this authorization at any time by providing such information in writing to the District of Lakeland.

Signature

Date

My contact telephone number is/are _____
Primary Phone Number *Other*



District of Lakeland #521

CONTRACTOR & SUB-CONTRACTOR LIST

GENERAL CONTRACTOR INFORMATION

All Contractors must have a current Business License registered with the District prior to the work starting.
Please contact permits@lakeland521.ca or 306 982-2874 to obtain one.

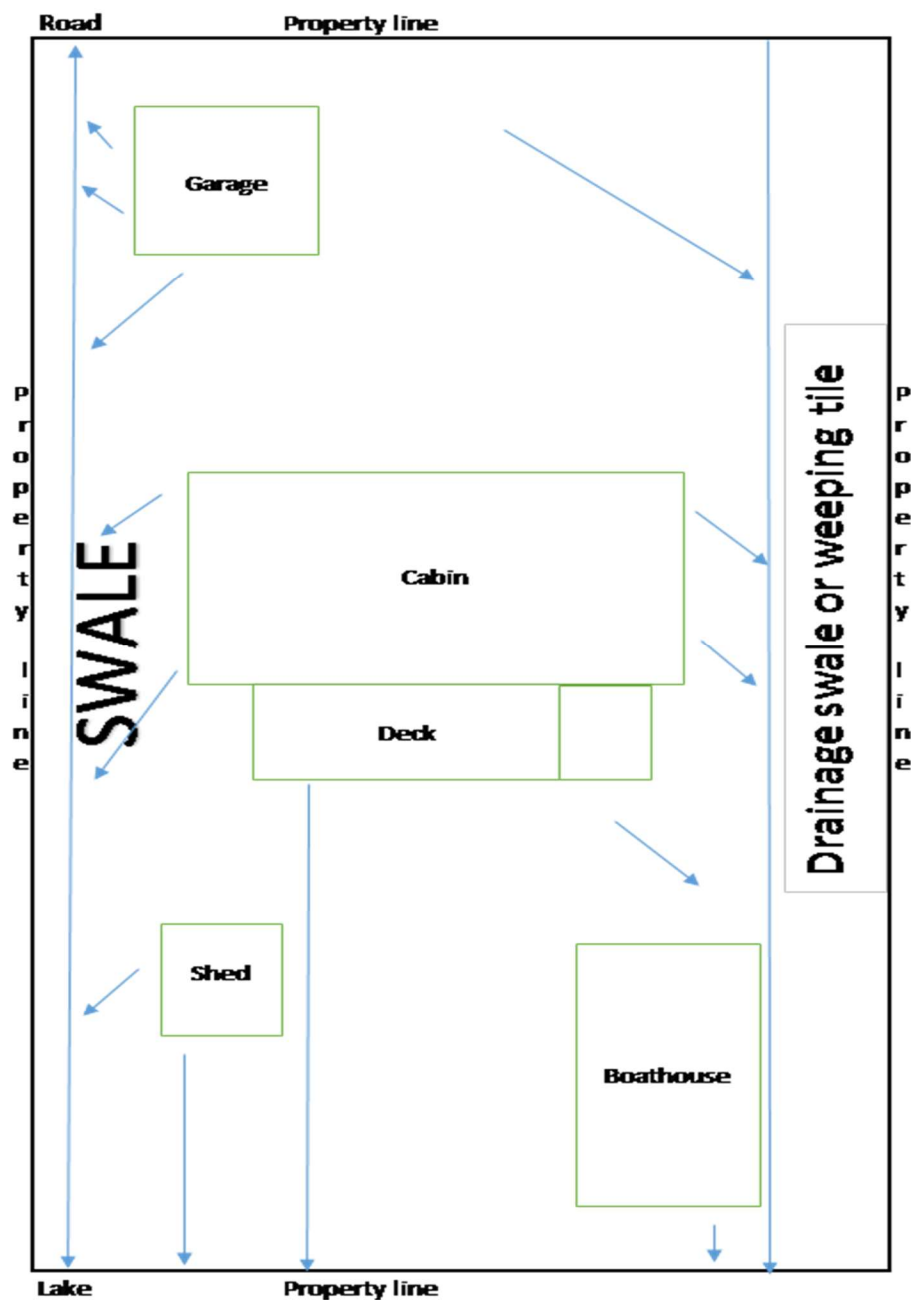
General Contractor	Company Name	City/Town	Contact Number

Contractor/Subcontractor	Type of Service	City/Town	Contact Number

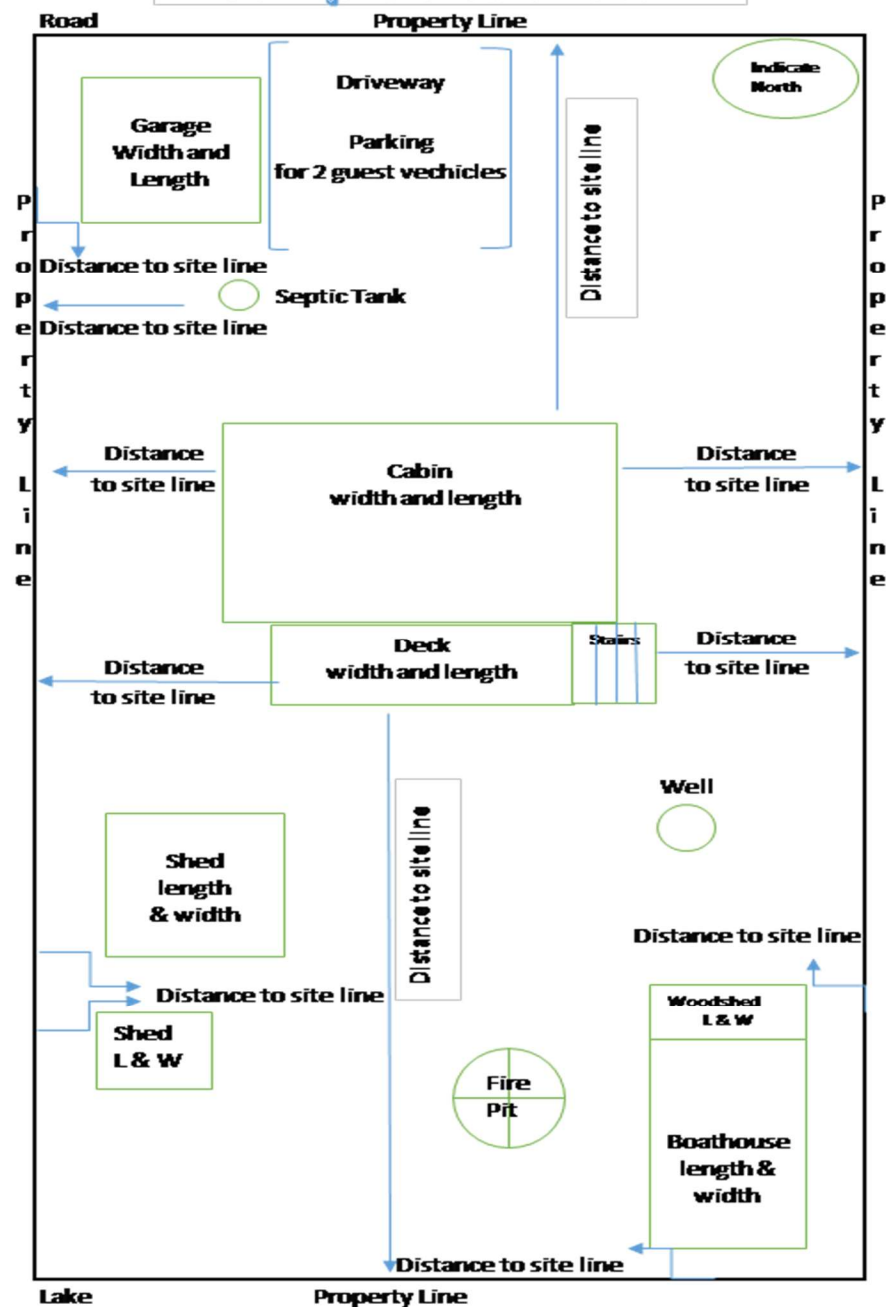
Examples of Contractors/Sub-contractors

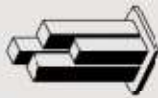
Demolition & Moving	Land Surveyors	Framing & Roofing	Drywallers / Painters
Site Excavation / Site Preparation	Heating & Plumbing	Finishing Carpentry	Landscaping
Foundation/Screw Piles	Electricians	Installers (service provider)	Cleaning & Yard Maintenance

Sample Drainage Sketch



Sample Site Sketch



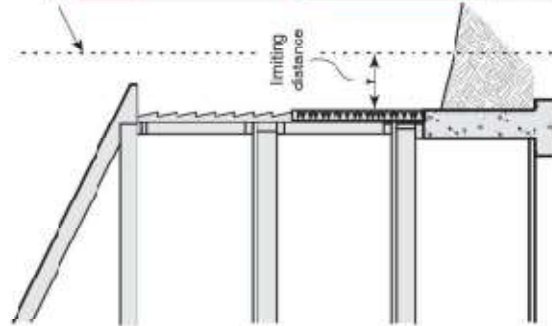


Spatial Separation - Houses & Accessory Structures

Fire Department Response Time: Over 10-minutes

Where the local fire department response time cannot meet a 10-minute response time in 50% of their calls, additional fire protection measures are taken to reduce the spread of fire to neighboring properties. This does not affect the permitted setbacks set out in the municipal zoning bylaw, it simply means the construction techniques change to provide better fire protection as buildings get closer to property lines. When the property is adjacent to a road, lane or other public thoroughfare, exceptions will apply.

Exposing Building Face Requirements - Houses



property line to which limiting distance is measured

Limiting Distance	Required Fire Rating	Cladding Permitted	Glazed Areas
less than 1.2m (4 ft)	Highly unlikely that any municipal zoning bylaw would permit construction of a dwelling within 1.2m of a property line;		
1.2m (4ft) up to 2.4m (8ft)	45 min	• Metal or noncombustible • Combustible over gypsum board or masonry • Vinyl over gypsum sheathing or masonry • Wall to comply with CANULC-S134 (See NBC Sentence 9.10.15.5.(3))	Permitted
2.4m (8ft) or greater	None Required	Combustible (No limit)	As in NBC Table 9.10.15.4.

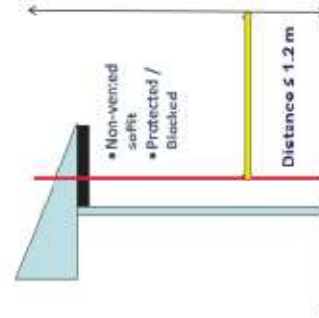
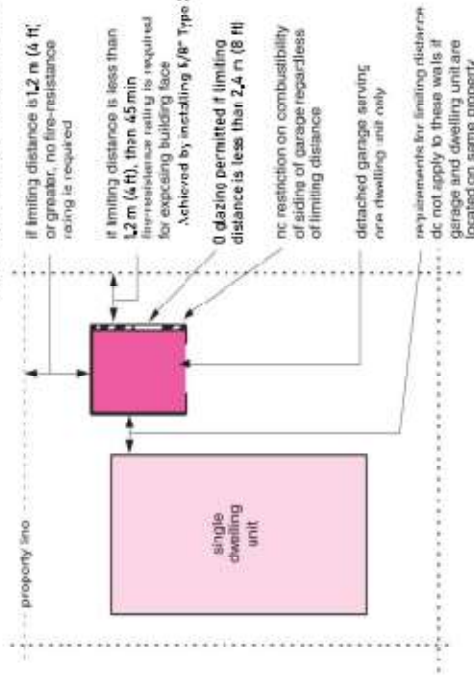


"Making buildings a safer place to live, work and play"

MARTESVILLE—NORTH BATTLEFORD—JANSEN—HAGUE—SWIFT CURRENT



Exposing Building Face Requirements - Accessory Structures



Protection of Soffits - ALL BUILDINGS
Where a soffit projects at any point within 1.2m of a property line, then the soffit shall have no openings be constructed with non-vented metal soffit, or have solid wood blocking installed.

And... no soffit is permitted within 450mm (18") of a property line – this will affect the truss overhang for many detached garages.
= If garage wall is at 750mm (18") setback, max truss overhang = 300mm (12")
= If garage wall is at 600mm (24") setback, max truss overhang = 150mm (6")



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