



# District of Lakeland #521

## Miscellaneous Development

### Development Permit Application

Fee \$25

### What Requires a Permit?

A Development Permit is required for but not limited to the following: tree removal, landscaping, topsoil/planting, site cleanup, retaining walls, elevation changes to property, swimming pools, patios, concrete/asphalt driveways, septic tanks

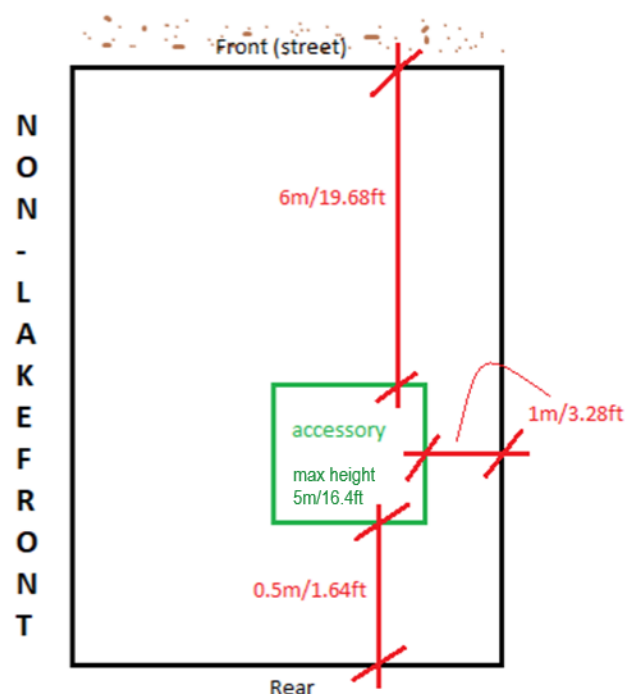
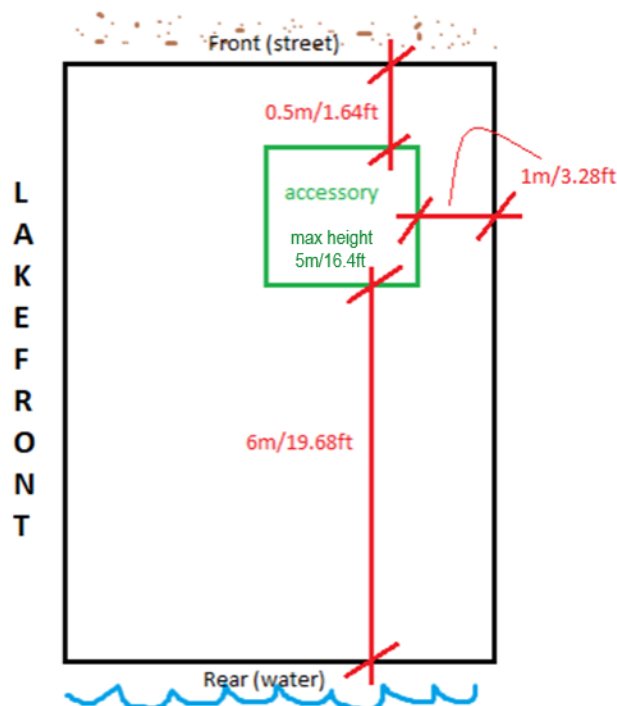
**If you aren't sure if your project requires a permit, please phone the Development Officer for clarification.**

### What Does NOT require a Permit?

Sheds <100 sq ft, gravel, and fences do not require a Development Permit; however, requirements must still be met:

Sheds <100 sq ft:

- Setbacks as follows:

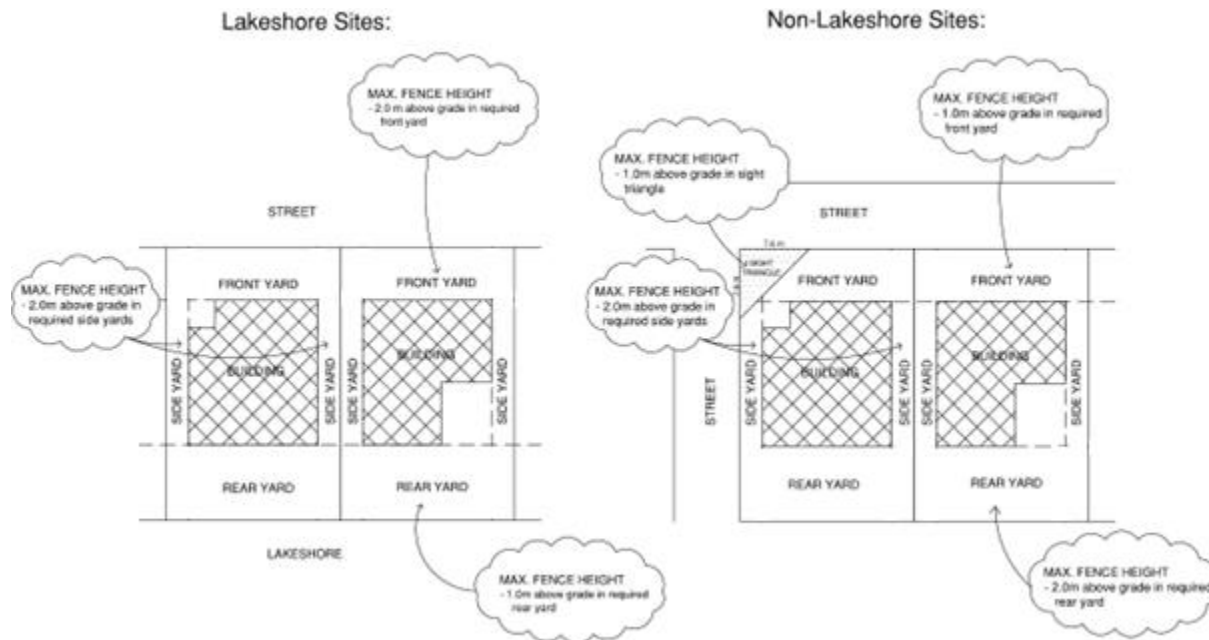


Gravel;

- Must be deposited & spread ONLY on your own property (not onto road allowances or municipal reserves)
- Drainage must not affect neighboring properties

Fences;

- Must be installed inside your property lines (not ON the property line)
- Height maximums as follows:



### Sequence of Permit Issuance

1. Ratepayer or General Contractor to submit the application and supplementing documents and/or site sketch. This can be dropped off at the office, mailed, or emailed to [development@lakeland521.ca](mailto:development@lakeland521.ca)
  - a. At this time, the fee for the permit is required.
2. Once the fee for the development permit is received, the Planning & Development department will review the application in depth.
  - a. We will communicate what/if other information is required to start your project.
3. The permit will be issued within 5 days for work to start.

### Landscaping

The District's intention is to "get back to nature".



Zoning Bylaw 17-2013 4.16(1)(a) states *Soft landscaping features shall comprise a minimum of 30% of the total area of the site.* The definition of soft landscaping is defined as *elements consisting of vegetation including trees, shrubs, hedges and grass, either existing native or proposed non-native species, so basically anything that grows.*



**DISTRICT OF LAKELAND NO.521 APPLICATION NO. \_\_\_\_\_ 20\_\_\_\_**

**Development Permit Application**

Date \_\_\_\_\_ 20\_\_\_\_

**Land Description:** Civic Address \_\_\_\_\_ Beach \_\_\_\_\_ or  
\_\_\_\_\_ Quarter Section \_\_\_\_\_, Twp. \_\_\_\_\_, Rge. \_\_\_\_\_, M \_\_\_\_\_

**Applicant Name:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Contact Information:** Home ( ) \_\_\_\_\_ Work ( ) \_\_\_\_\_ Cell ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_ Email \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
(If different than Applicant)

As per the National Building Code, screw piles must be stamped by an Engineer. The District is requesting the Field Report for all screw piles be submitted with the Real Property Report. Failure to submit either of these documents will result in the office withholding issuance of the Building Permit.

**Proposed Development:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(Attach Site Sketch)

**Applicant's Signature:** \_\_\_\_\_

**Development Permit**

Page \_\_\_\_ of \_\_\_\_

**Decision** Permitted Use – Approved - Date: \_\_\_\_\_ Denied – Date: \_\_\_\_\_  
Discretionary use – Approved by Resolution No. \_\_\_\_\_  
Subject to the following conditions/reasons: \_\_\_\_\_

This permit expires \_\_\_\_\_  
one year from the \_\_\_\_\_  
date of issuance \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

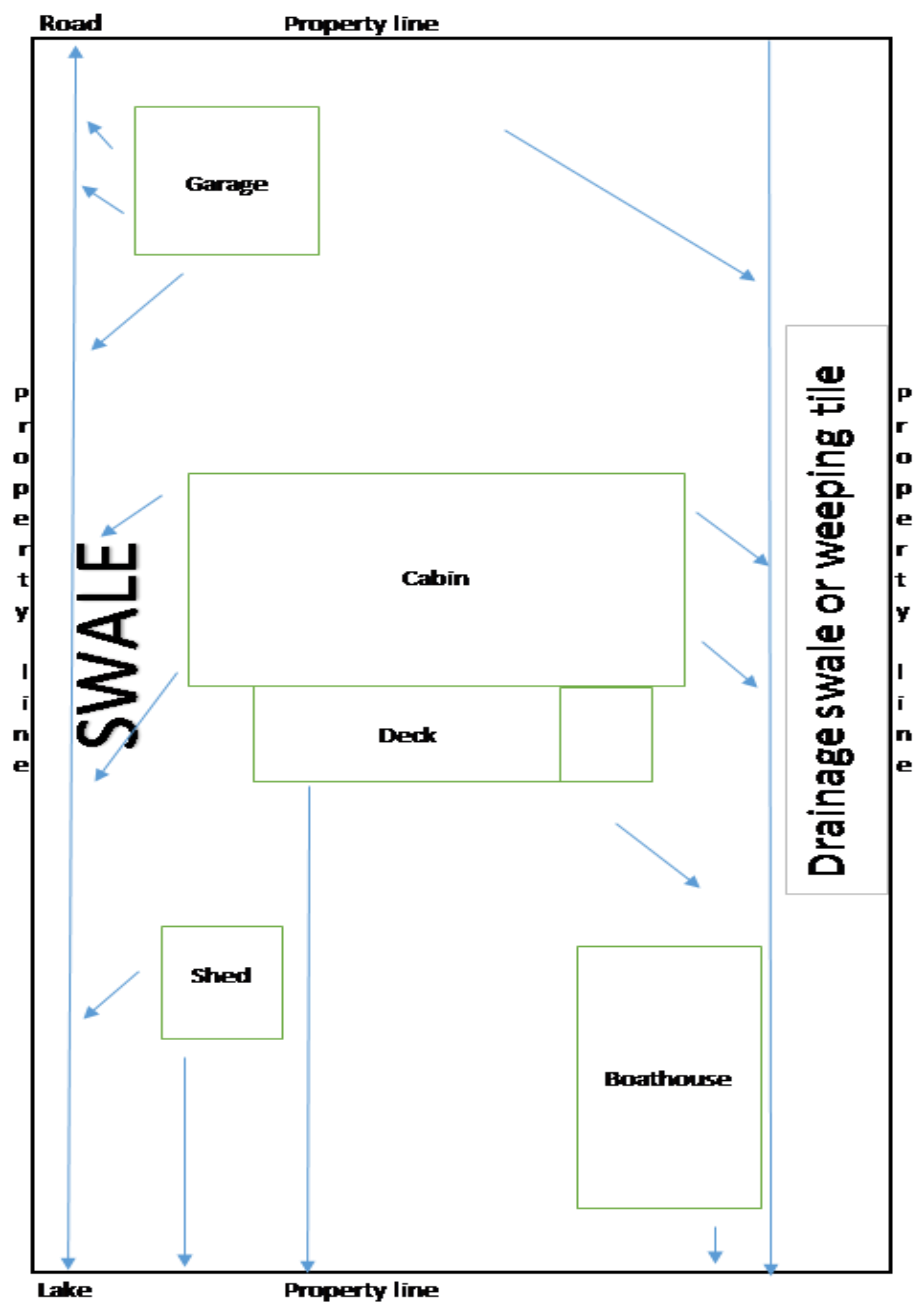
**Note:**

Approval of this application and issuance of a Development Permit does not absolve the applicant of obtaining other permits and approvals as may be required according to other municipal, Provincial and Federal government legislation.

\*All developments shall be in compliance with the Zoning Bylaw for the District of Lakeland No.521

**DEVELOPMENT OFFICER:** \_\_\_\_\_

## Sample Drainage Sketch



## Sample Site Sketch

